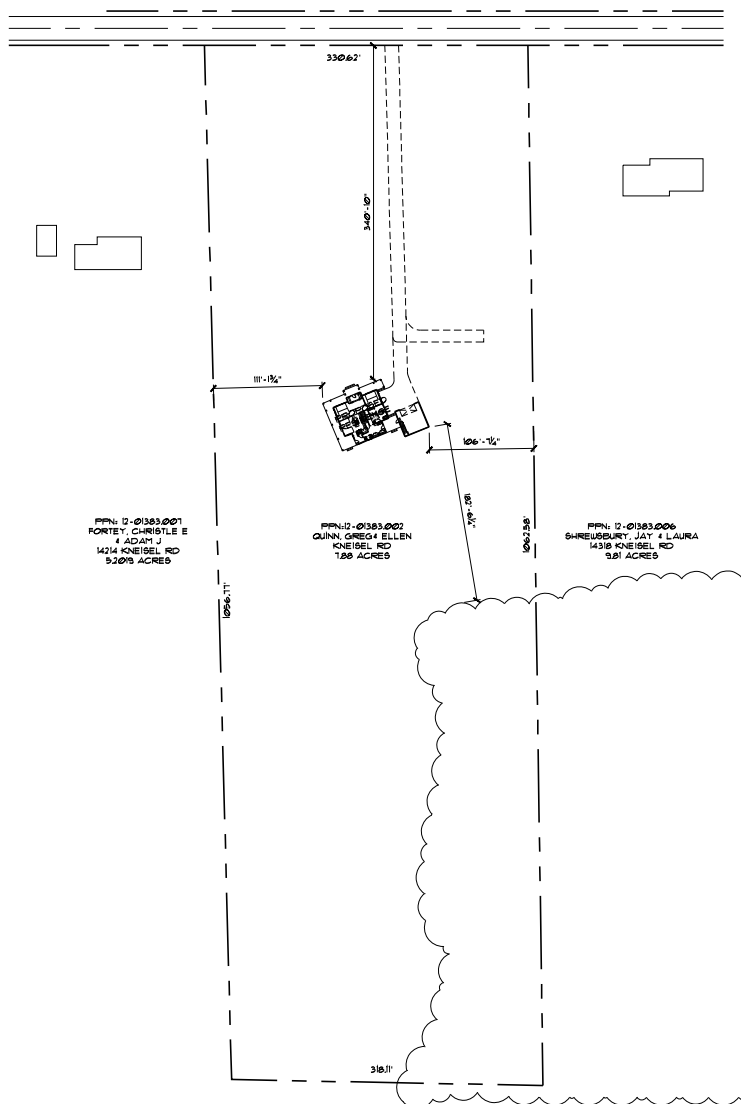


# NEW RESIDENCE FOR ELLEN AND GREG QUINN

ADDRESS OF SITE:  
 KNEISEL ROAD  
 VERMILION, OHIO 44089



FPN: D-01383.001  
 FORTYEY, CHRISTIE L E  
 4 ADAM J  
 14214 KNEISEL RD  
 5.209 ACRES

FPN: D-01383.007  
 QUINN, GREG G ELLEN  
 KNEISEL RD  
 1.88 ACRES

FPN: D-01383.006  
 SHREIBSBURY, JAY F LAURA  
 14318 KNEISEL RD  
 3.81 ACRES


**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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DATES & REVISIONS	
NOV 2019	PRELIMINARY 1
DEC 2019	PRELIMINARY 2
JAN 2020	PRELIMINARY 3
FEB 2020	FINAL

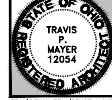
**REGISTERED STATES:**  
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TRAVIS P. MAYER  
 1419 OH 60, SUITE #5  
 VERMILION, OHIO 44089  
 PHONE: 216.789.8292  
 MAYERARCHGRP@GMAIL.COM



DRAWING INDEX	
NO.	DESCRIPTION
<b>ARCHITECTURAL</b>	
CS	PROPOSED SITE PLAN AND COVER SHEET
A-1	EXTERIOR ELEVATIONS
A-2	EXTERIOR ELEVATIONS
A-3	FOUNDATION PLAN
A-4	FIRST FLOOR PLAN
A-5	SECOND FLOOR PLAN
A-6	BUILDING SECTION A - A
A-7	BUILDING SECTION B - B
A-8	BUILDING SECTION C - C
S-1	FRAMING PLANS
E-1	FIRST FLOOR ELECTRICAL PLAN
E-2	SECOND FLOOR ELECTRICAL PLAN

- GENERAL NOTES**
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE OHIO RESIDENTIAL CODE AND ALL LOCAL AND FEDERAL GOVERNING CODES.
  - ALL WORK SHALL BE PERFORMED BY WORKMEN THOROUGHLY EXPERIENCED IN THEIR RESPECTIVE TRADES.
  - ALL MANUFACTURED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS AND/OR WITH THE STANDARDS OF THE INDUSTRIAL OR TRADE ASSOCIATION GOVERNING THEIR WORK.
  - ALL ELECTRICAL WORK WILL COMPLY WITH THE REQUIREMENTS OF CHAPTER 27 O.B.C. AND THE NATIONAL ELECTRICAL CODE (NEC) NFPA 70, O.B.C. APPROVED EDITION AND ALL LOCAL CODES, AND IS SUBJECT TO THE APPROVAL OF THE AUTHORIZED ELECTRICAL INSPECTOR.
  - ALL H.V.A.C. WORK SHALL CONFORM TO THE REQUIREMENTS OF O.B.C., MECHANICAL CODE AND THE OHIO RESIDENTIAL CODE AND SHALL BE INSTALLED IN ACCORDANCE WITH ITS UNDERWRITER APPROVAL, THE MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS AND GOOD ENGINEERING PRACTICE.
  - ALL PHASES OF THE PLUMBING WORK WILL COMPLY WITH THE O.B.C. PLUMBING CODE (4101:24-1) AND THE COUNTY HEALTH DEPARTMENT AND BOARD OF HEALTH.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED BY THE ABOVE NAMED CODES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATIONS OF ALL EXISTING CONDITIONS DURING THE BIDDING PROCESS. ANY VARIATION BETWEEN ACTUAL CONDITIONS AND THE CONTRACT DOCUMENTS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT AND RESOLVED AT THAT TIME PRIOR TO SUBMITTING A BID. NO MONETARY CONSIDERATION WILL BE MADE FOR DISCREPANCIES BROUGHT FORTH ONCE BIDS ARE SUBMITTED.
  - DURING THE BIDDING PERIOD, CONFLICT OF DETAIL OR NOTING BETWEEN SPECIFICATIONS, WRITTEN NOTES, BID FORMS AND/OR DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONFLICT RESOLVED. SHOULD THE CONFLICT BE DISCOVERED AFTER THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE HIGHEST QUALITY LARGEST QUANTITY CALLED FOR.
  - THE CONTRACTOR SHALL FURNISH ALL WORK AND MATERIALS NECESSARY TO COMPLETE THE WORK EVEN THOUGH THEY MAY NOT BE SPECIFICALLY SHOWN ON THE DRAWINGS.
  - ALL CONCRETE SHALL COMPLY WITH O.B.C. CHAPTER 19. ALL CONCRETE SHALL BE MINIMUM 6 BAGG WITH MINIMUM STRENGTH OF 2,000 PSI AT 28 DAYS UNLESS NOTED OTHERWISE. EXTERIOR CONCRETE SHALL HAVE 4% AIR.
  - PERIMETER WALL AND CEILING INSULATION SHALL BE AS SHOWN ON THE DRAWINGS AND CONFORM TO THE REQUIREMENTS OF CHAPTER 19 MECHANICAL CODE O.B.C.

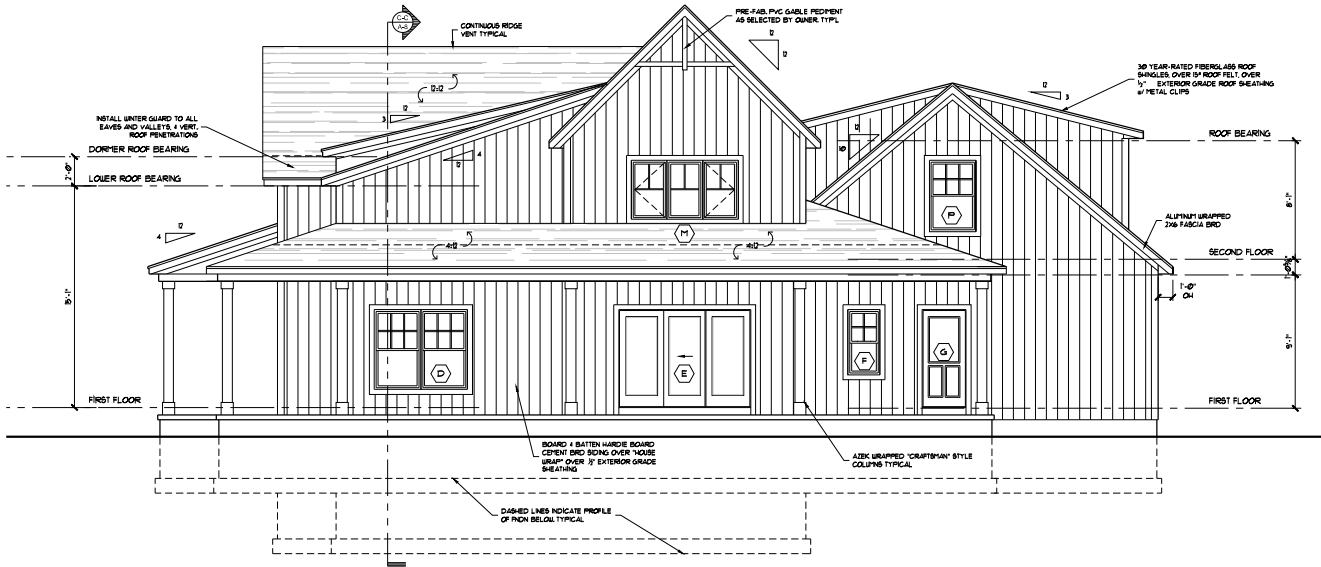


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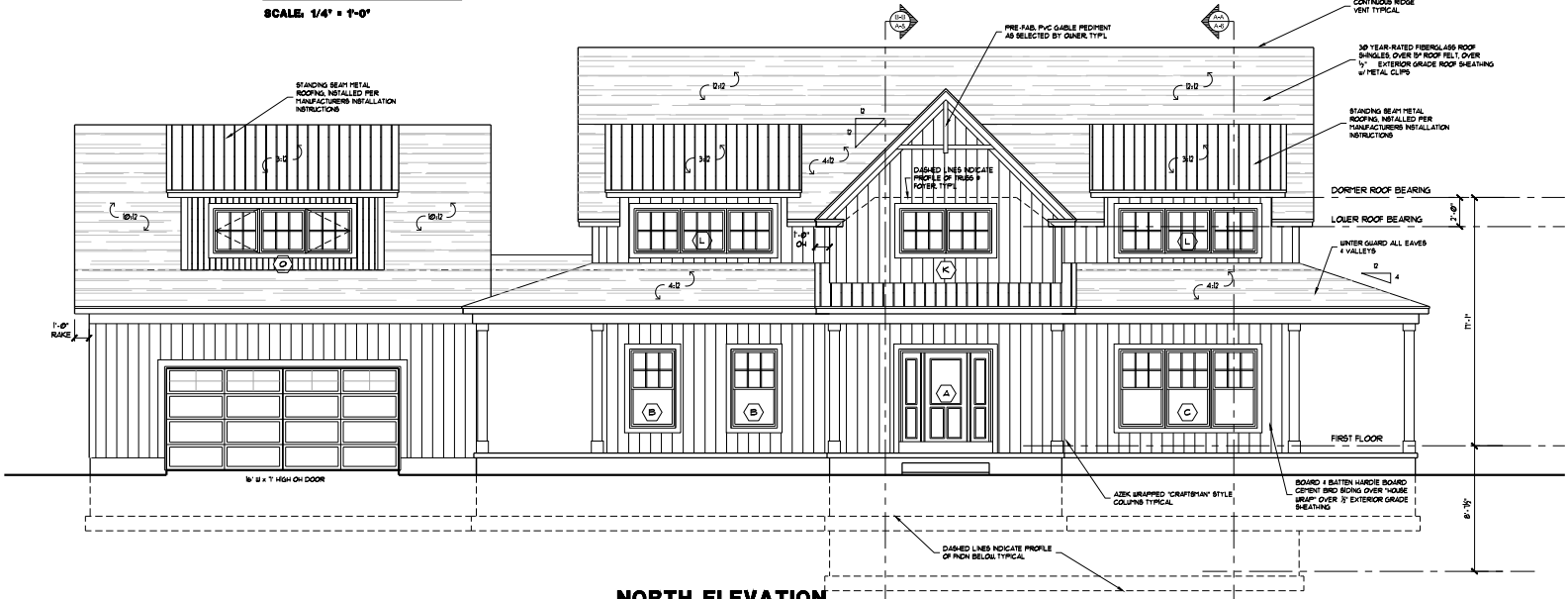
**SITE PLAN**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
 KNEISEL ROAD  
 VERMILION, OHIO 44089

PROJECT NO: 2019041  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]

SHEET: **SP-1**



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

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OF QUINCY, IL 62450

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1	02.23.23	PRELIMINARY 1
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3	07.23.23	ISSUE

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MAYERARCHGRP@GMAIL.COM



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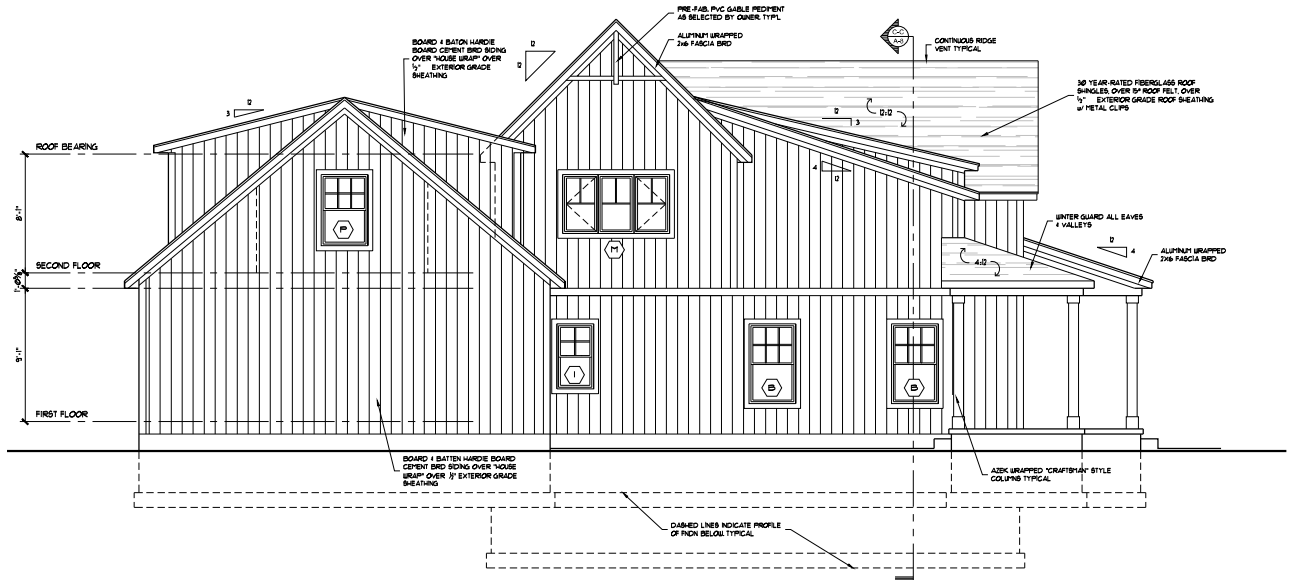
**EXTERIOR ELEVATIONS**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO.	220481
DRAWN BY	
CHECKED BY	TRP

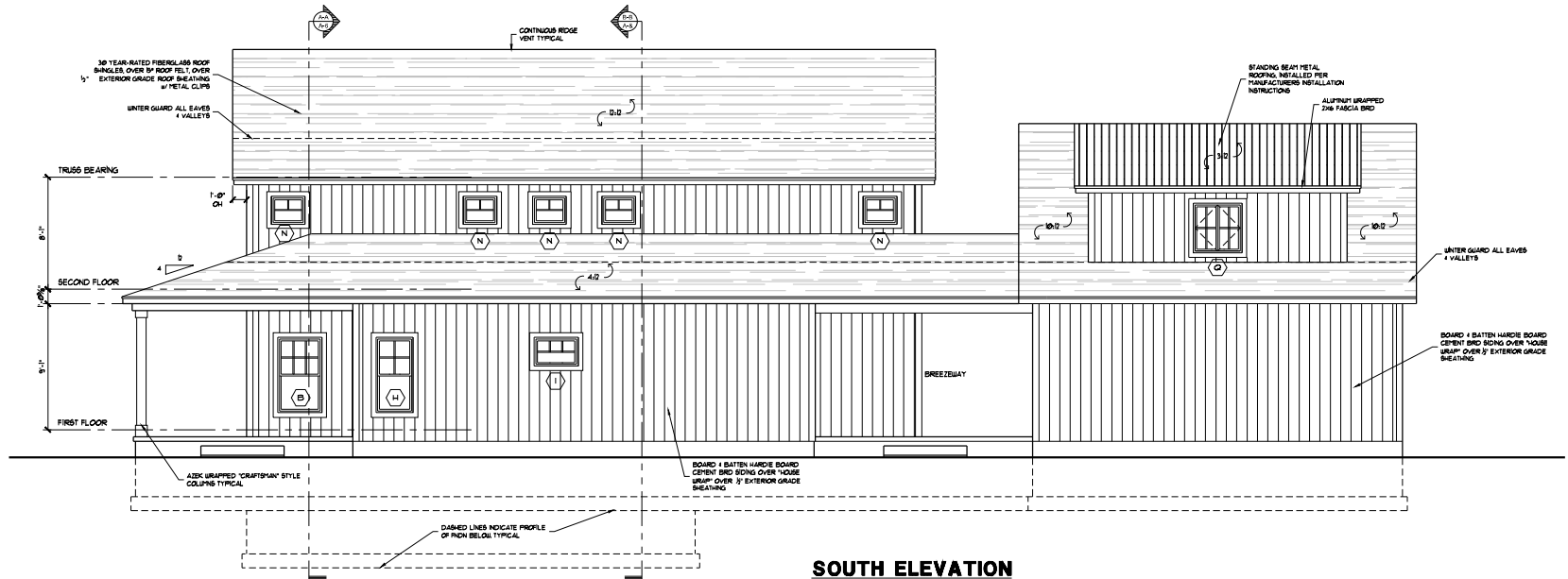
DATE: 07/23/23  
**A-1**



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**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



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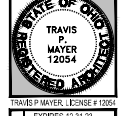
110 COUNTY ROAD 88  
OF QUINN, IF THE JOINT  
PROPERTY OF MAYER ARCHITECTURAL GROUP AND GREG QUINN  
VERMILION, OHIO 44089

DATE	REVISIONS
PRELIMINARY 1	02.23.22
PRELIMINARY 2	03.23.22
PRELIMINARY 3	03.23.22
ISSUE	07.23.22

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**EXTERNAL ELEVATIONS**

**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO.	220461
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CHECKED BY	TRP
DATE	
SCALE	

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3	03.23.22	PRELIMINARY 3
4	07.21.23	REVISION

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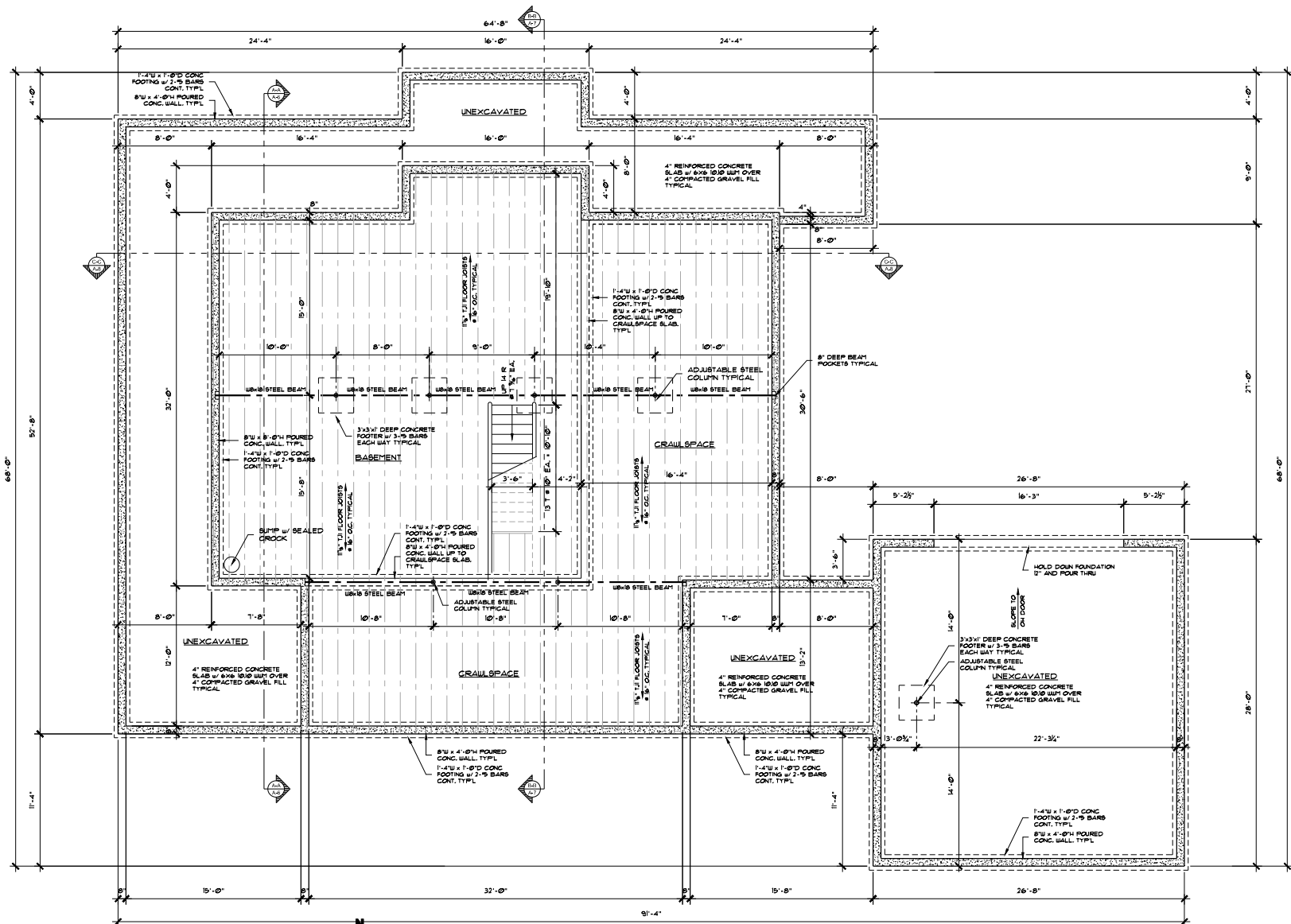
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**SECOND FLOOR PLAN**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
 KNEISEL ROAD  
 VERMILION, OHIO 44089

PROJECT NO: 220461  
 DRAWN BY:  
 CHECKED BY: TWP

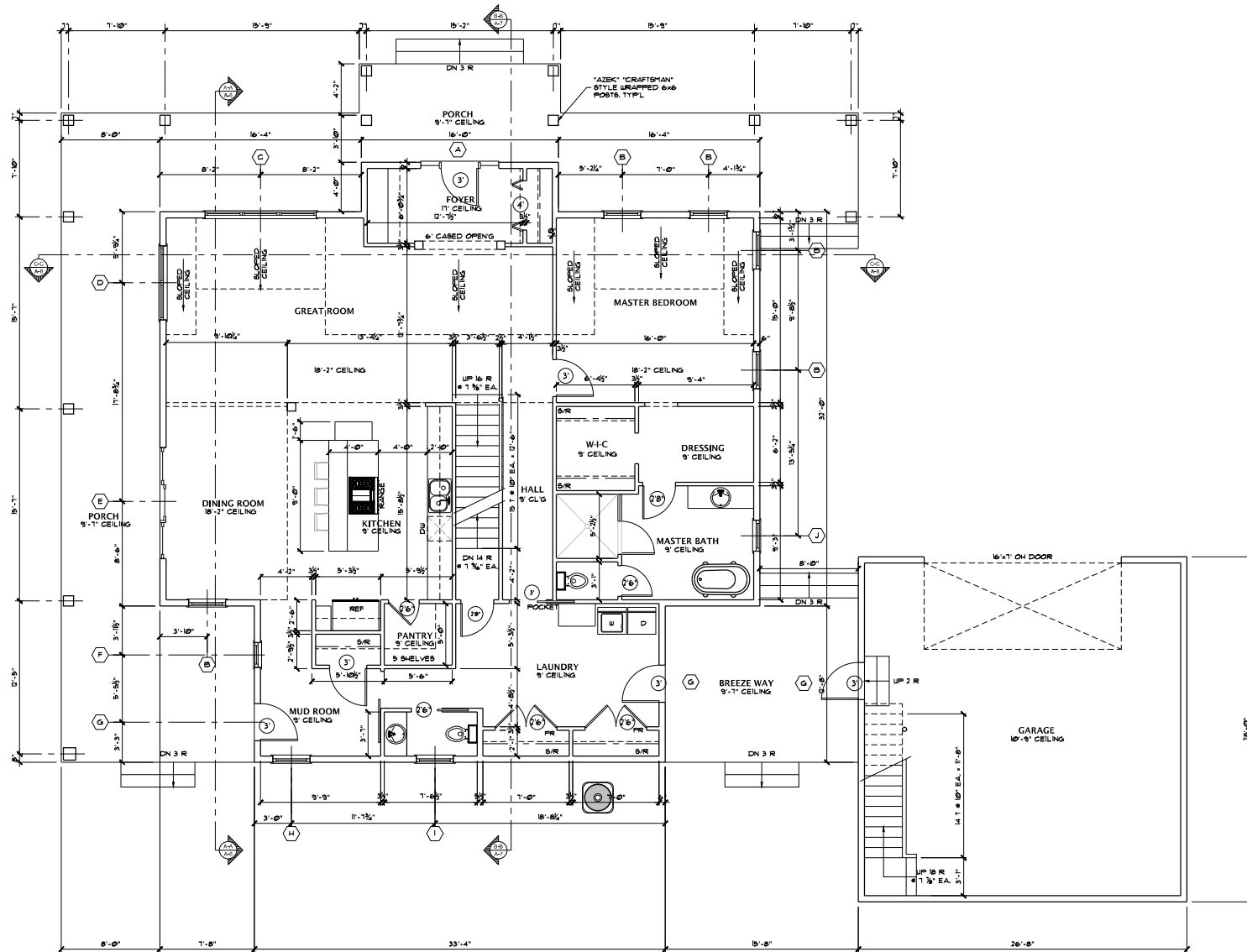
**A-3**



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



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**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"      2,000 S.F.



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3	03.23.24	PRELIMINARY 3
4	07.23.24	DWING

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 PHONE : 216.789.8292  
 MAYERARCHGRP@GMAIL.COM



TRAVIS P. MAYER, LICENSE #12054  
 EXPRESS 12.31.23

**LOWER LEVEL FOUNDATION PLAN**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
 KNEISEL ROAD  
 VERMILION, OHIO 44089

PROJECT NO.	2220461
DRAWN BY	
CHECKED BY	TRP

DATE: **A-4**



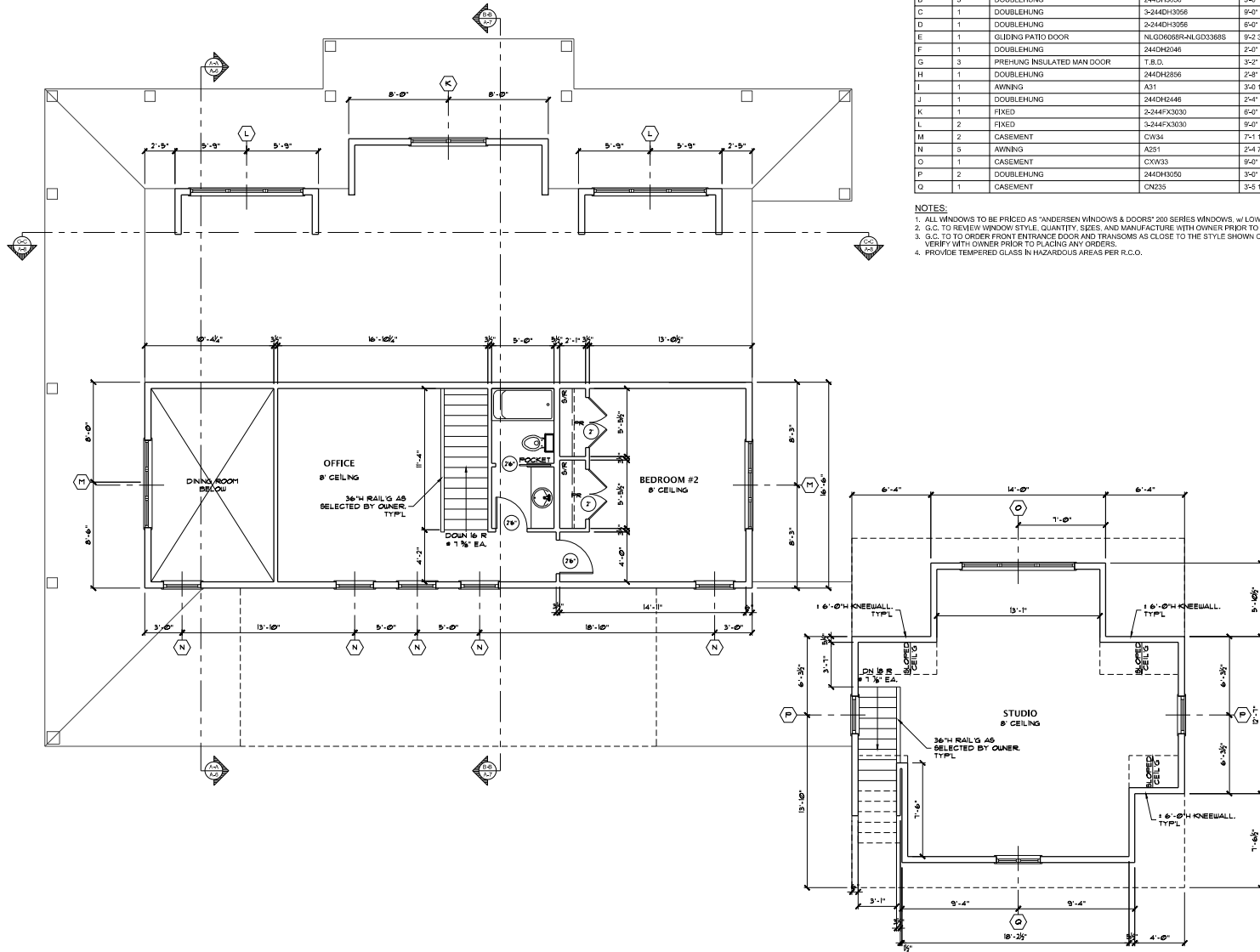
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**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

587 S.F.  
490 S.F. STUDIO



WINDOW SCHEDULE					
MARK	QTY.	MANUFACTURER	PRODUCT NUMBER	R.O. SIZE	REMARK
A	1	T.B.D.	3'DRI 2-18" SL	5'-0" x 7'-0"	
B	5	DOUBLEHUNG	244DH3056	3'-0" x 5'-0"	
C	1	DOUBLEHUNG	3-24DH3056	8'-0" x 5'-0"	
D	1	DOUBLEHUNG	3-24DH3056	8'-0" x 5'-0"	
E	1	GLIDING PATIO DOOR	NLGD0668R-NLGD3368S	8'-2 3/4" x 6'-0"	
F	1	DOUBLEHUNG	244DH2046	2'-0" x 4'-0"	
G	3	PIREHUNG INSULATED MAN DOOR	T.B.D.	3'-2" x 6'-8"	
H	1	DOUBLEHUNG	244DH2856	2'-8" x 5'-0"	
I	1	AWNING	A31	3'-0 1/2" x 2'-0 5/8"	
J	1	DOUBLEHUNG	244DH2448	2'-4" x 4'-0"	
K	1	FIXED	3-34FX3030	5'-0" x 3'-0"	
L	2	FIXED	3-34FX3030	5'-0" x 3'-0"	
M	2	CASEMENT	CA34	7'-1 1/8" x 4'-0 1/2"	
N	5	AWNING	A251	2'-4 7/8" x 2'-0 5/8"	
O	1	CASEMENT	CXW33	8'-0" x 3'-0 1/2"	
P	2	DOUBLEHUNG	244DH3050	3'-0" x 5'-0"	
Q	1	CASEMENT	CN235	3'-5 1/4" x 3'-5 3/8"	

- NOTES:**
- ALL WINDOWS TO BE PRICED AS "ANDERSEN WINDOWS & DOORS" 200 SERIES WINDOWS, w/ LOWE GLAZING.
  - G.C. TO REVIEW WINDOW STYLE, QUANTITY, SIZES, AND MANUFACTURE WITH OWNER PRIOR TO PLACING ANY ORDERS.
  - G.C. TO ORDER FRONT ENTRANCE DOOR AND TRANSOMS AS CLOSE TO THE STYLE SHOWN ON ELEVATIONS. G.C TO VERIFY WITH OWNER PRIOR TO PLACING ANY ORDERS.
  - PROVIDE TEMPERED GLASS IN HAZARDOUS AREAS PER R.C.O.

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2	02.23.23	PRELIMINARY 2
3	03.23.23	PRELIMINARY 3
4	07.23.23	ISSUED

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TRAVIS P. MAYER, LICENSE #12054

EXPIRES 12.31.23

**SECOND FLOOR PLAN**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO.	222461
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DATE: **A-5**

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2	02.23.20	PRELIMINARY 2
3	03.23.20	DRAWING
4	07.23.20	DRAWING

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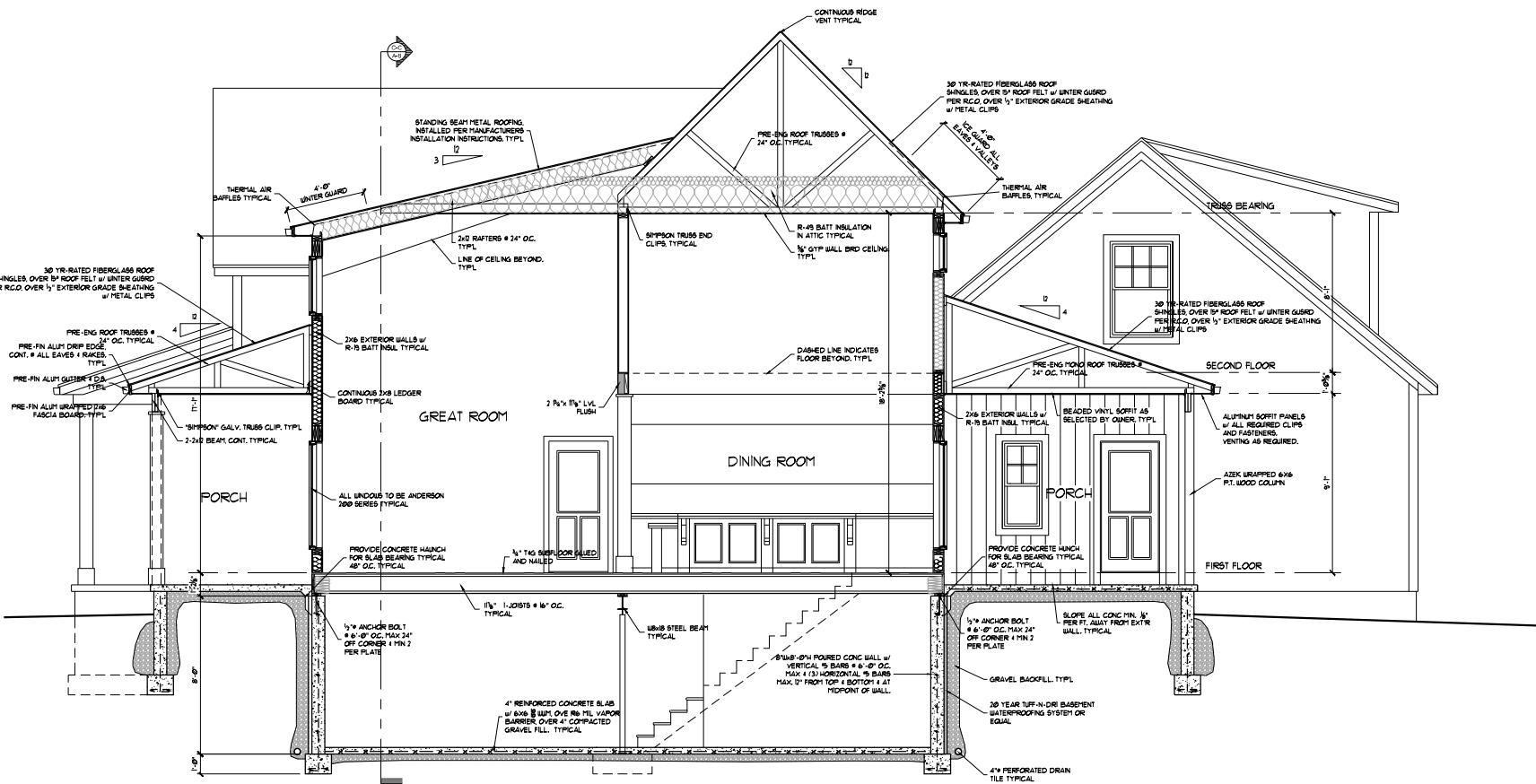
EXPIRES 12.31.23

BUILDING SECTION A - A  
 NEW RESIDENCE FOR  
**ELLEN AND GREG QUINN**  
 KNEISEL ROAD  
 VERMILION, OHIO 44089

PROJECT NO.	2205401
DRAWN BY	
CHECKED BY	TRP

DATE:  

**A-6**



**BUILDING SECTION A - A**  
SCALE: 3/8" = 1'-0"



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2	02.23.24	PRELIMINARY 2
3	03.23.24	PRELIMINARY 3
4	12.23.24	REVISED

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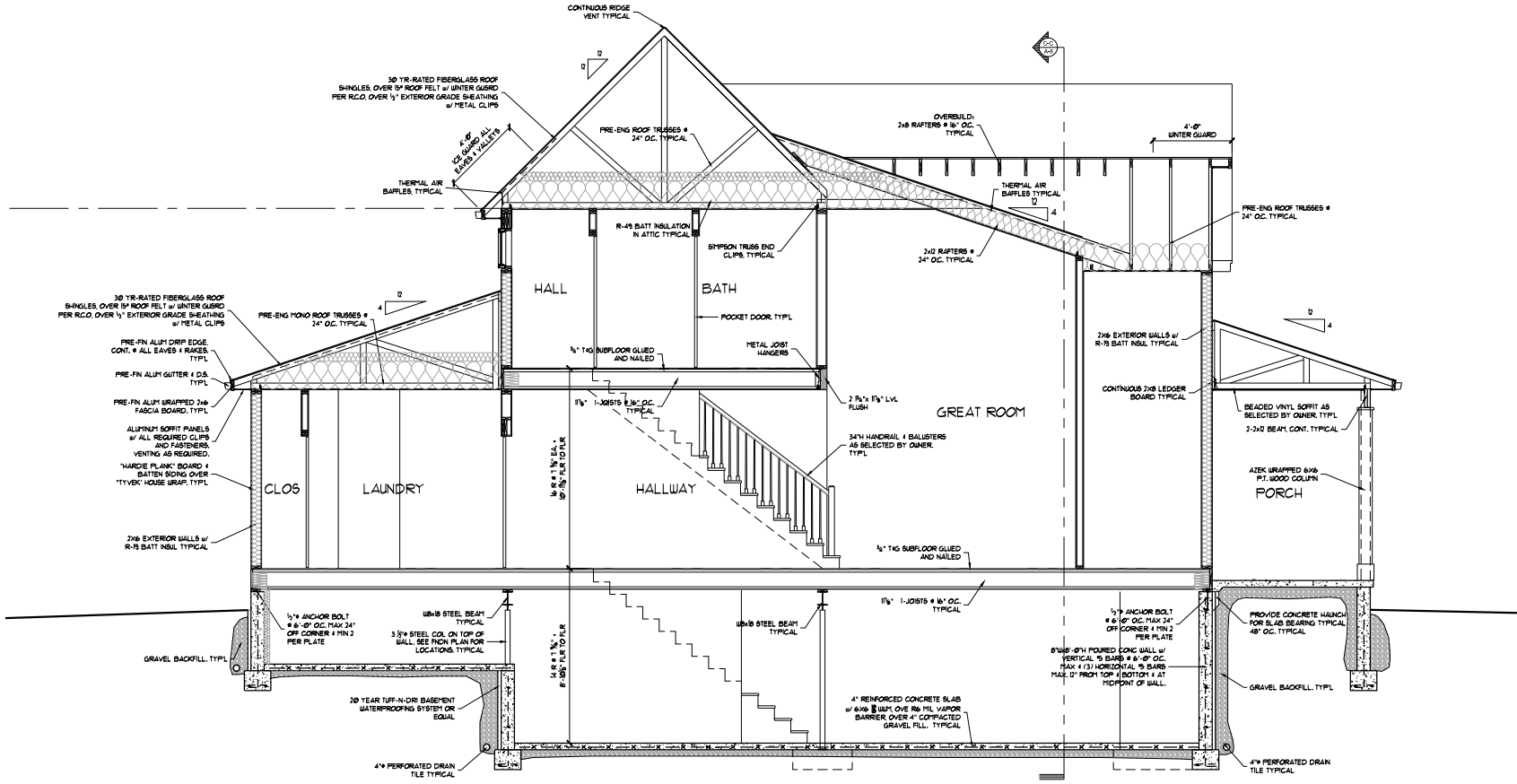
TRAVIS P. MAYER, LICENSE #12054

EXPRES 12.31.23

**BUILDING SECTION B - B**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO: 2220491  
DRAWN BY: [blank]  
CHECKED BY: [blank]

SHEET: **A-7**

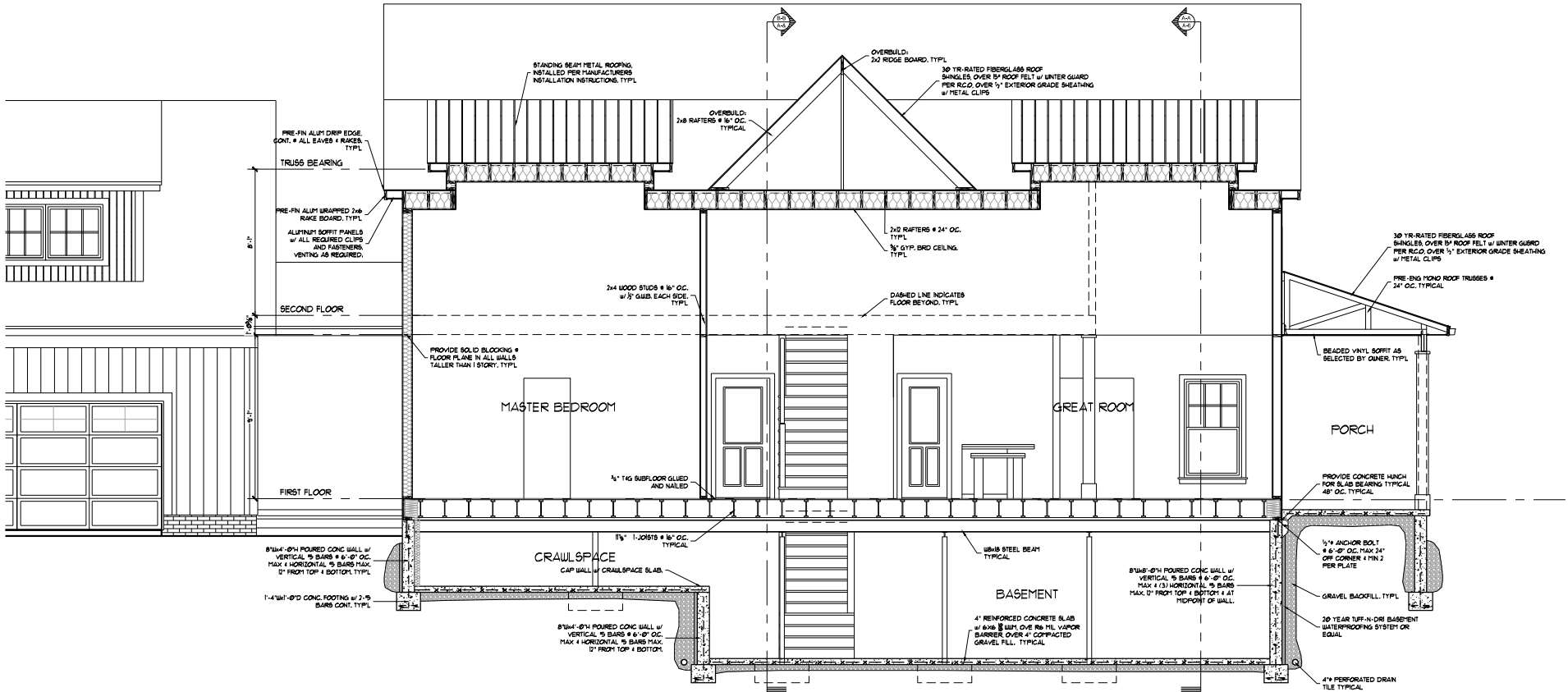


**BUILDING SECTION B - B**  
SCALE: 3/8" = 1'-0"



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**BUILDING SECTION C - C**  
SCALE: 3/8" = 1'-0"

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1	02.23.21	PRELIMINARY 2
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3	07.23.21	DWG.

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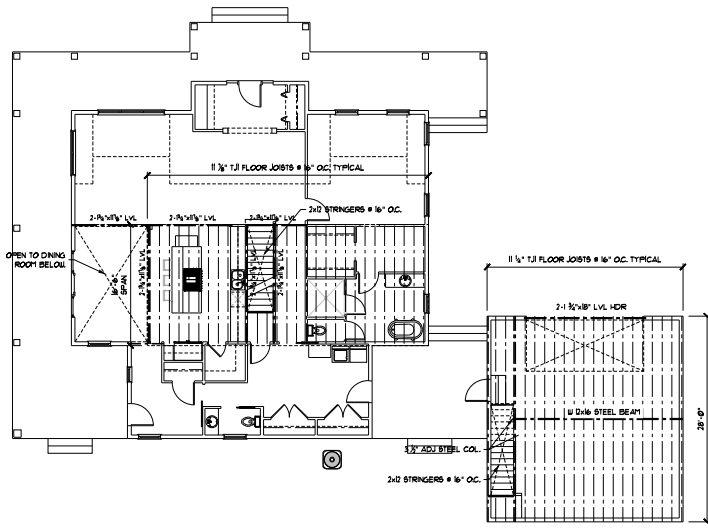
**BUILDING SECTION C - C**  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO: 2220461  
DRAWN BY: [blank]  
CHECKED BY: [blank]

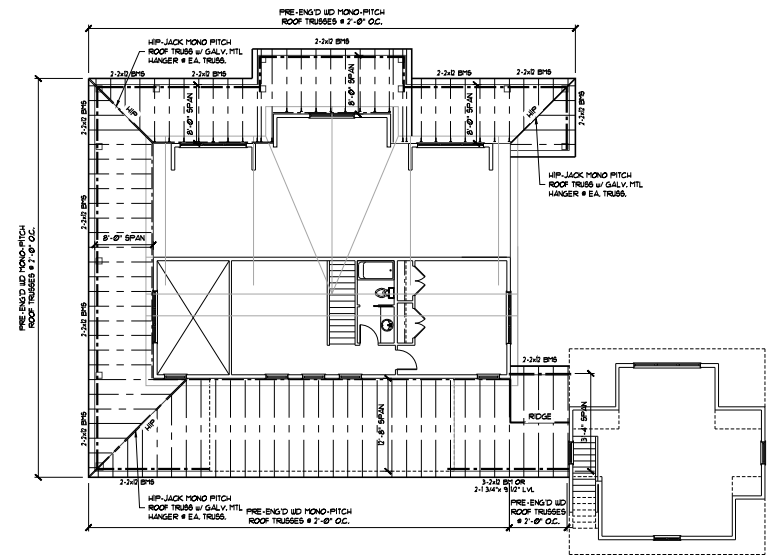
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**A-8**



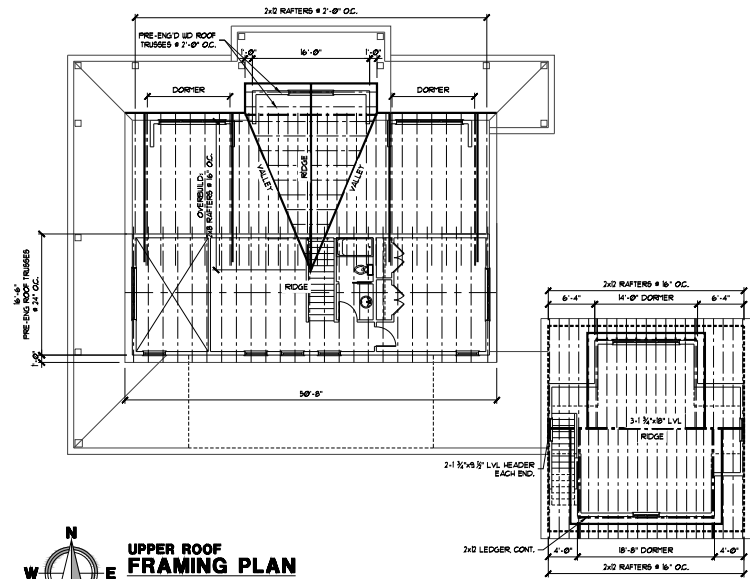
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**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**PORCH ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

**DESIGN LOADS**

SLEEPING ROOMS LIVE LOAD	30 PSF
ALL OTHER RMS/ DECKS LIVE LOAD	40 PSF
ATTICS w/ LIMITED STORAGE	20 PSF
HANDRAILS	200 PSF
HANDRAIL INFILL BALUSTERS	50 PSF
ROOF LIVE LOAD	20 PSF
ROOF DEAD LOAD	15 PSF
ROOF SNOW LOAD	25 PSF
ULTIMATE WIND SPEED	115 MPH
WIND LOAD (90 MPH)	25 PSF
SOFFIT UPLIFT	26 PSF
WIND EXPOSURE CLASS	"C"
GROUND SNOW LOAD	25 PSF
SNOW EXPOSURE FACTOR	0.7
IMPORTANCE FACTOR	1.0
EAVE - OVERHANG DESIGN	60 PSF
SOIL BEARING PRESSURE	1500 PSF (ASSUMED)



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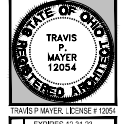
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**DATES & REVISIONS:**

PROJECT	12.21.23
PRELIMINARY 1	02.22.23
PRELIMINARY 2	03.23.23
DWING	07.27.23

**REGISTERED STATES:**  
OHIO  
PENNSYLVANIA  
MICHIGAN  
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ILLINOIS  
WISCONSIN  
NORTH CAROLINA  
SOUTH CAROLINA

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TRAVIS P. MAYER, LICENSE #12054  
EXPRES 12.31.23

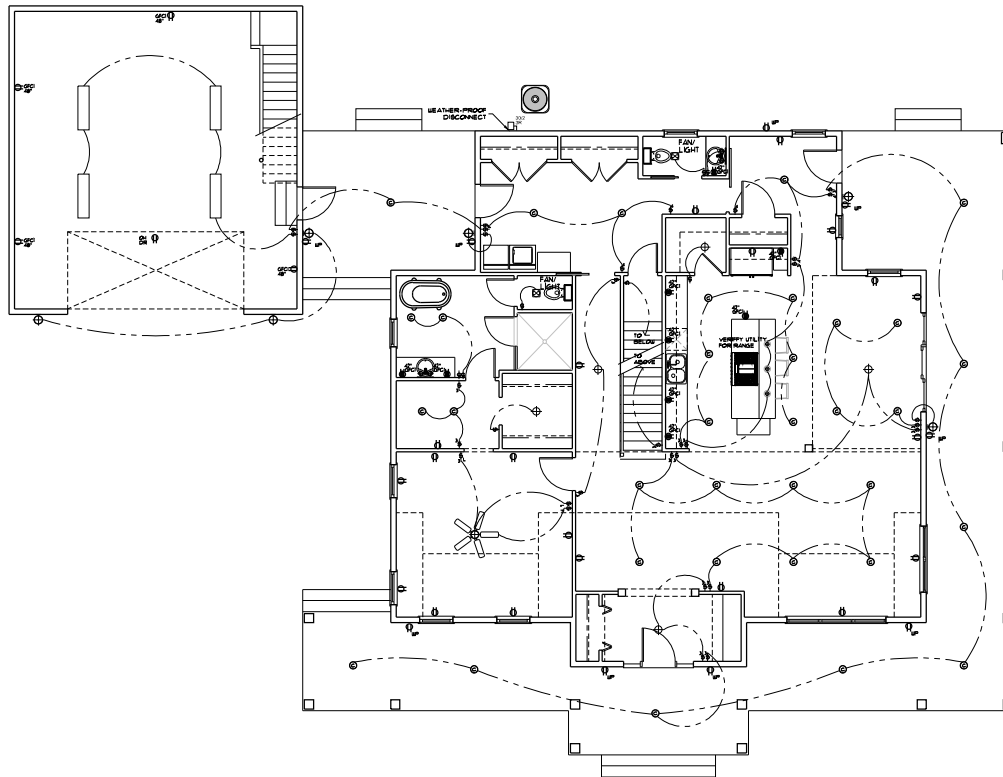
**PRELIMINARY PLAN**

**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO.	2203461
DRAWN BY	
CHECKED BY	TRP
SHEET NO.	<b>S-1</b>



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ELECTRICAL SYMBOLS	
	20 AMP 20 VOLT NEMA 5-20R GROUNDING TYPE DUPLEX RECEPTACLE WITH SELF-CONTAINED GROUND FAULT INTERRUPTION PROVISIONS. 1/4" IN TO CENTER UNLESS OTHERWISE NOTED.
	WEATHER-PROOF OUTLET w/ GFI.
	ISOLATED GROUND DUPLEX RECEPTACLE OUTLET
	EXISTING OUTLET TO BE REMOVED 1 WIRE CAPPED.
	TYPE DUPLEX RECEPTACLE w/ SELF-CONTAINED GROUND FAULT INTERRUPTION PROVISIONS. 1/4" IN TO CENTER UNLESS OTHERWISE NOTED.
	DUPLEX RECEPTACLE NEMA 5-20R w/ AFFIXED CENTER OF BOX UNLESS NOTED OTHERWISE.
	4-PLEX 20 AMP 20 VOLT 2 POLE 3 WIRE RECEPTACLE MOUNTED IN COPPER BOX WITH COPPER 3 GANG PLATE.
	JUNCTION BOX FOR SIGNAGE. SIZE ACCORDINGLY.
	JUNCTION BOX. SIZE ACCORDINGLY.
	LINE VOLTAGE THERMOSTAT
	BRANCH CIRCUIT PANELBOARD
	DISCONNECT SWITCH 30 INDICATES AMPACITY 3 INDICATES 3 POLE, 3R INDICATES NEMA 3R ENCLOSURE, N INDICATES NON-FUSED
	1/4" x 1/2" O.D. COPPER CLAD GROUND ROD MADE ELECTRODE ATTACHED TO STRUCTURE BY 1/2" COPPER GND. ELECTRODE CONDUCTOR UNLESS NOTED OTHERWISE.
	LETTER INDICATES PANEL, NUMBERS INDICATE CIRCUITS (T) INDICATES OTHER CONTINUATION.
	BRANCH CIRCUIT CONDUIT 1/2" MINIMUM CONCEALED BELOW SLAB IN G.C. OR WALLS. 2" MINIMUM CONCEALED NO. OF CONDUITS 1/2" ABS. UNLESS NOTED OTHERWISE.
	TV JACK AND/OR ETHERNET JACK 3/4" TO ABOVE CEILING FOR DATA.
	PHONE JACK 3/4" TO ABOVE CEILING FOR PHONE.
	GROUND
	MOUNTING HEIGHT (FROM FINISH FLOOR)
	TYPICAL
	WEATHER-PROOF
	ABOVE FINISHED FLOOR
	CONDUIT
	EXISTING
	20 AMP 120V 110 VOLT SINGLE POLE TOGGLE SWITCH FAN LIGHT R-RECEPT
	20 AMP 120V 110 VOLT THREE WAY TOGGLE SWITCH FAN LIGHT R-RECEPT
	20 AMP 120V 110 VOLT SINGLE POLE DIPPER SWITCH

- ### ELECTRICAL NOTES
- ALL EXTERIOR RECEPTABLES SHALL BE WEATHERPROOF AND G.F.I.
  - ALL BATHROOM, GARAGE, AND ANY RECEPTACLE WITHIN (6) FEET OF ANY SINK SHALL BE G.F.I. TYPE.
  - ALL EXTERIOR DISCONNECT SWITCHES SHALL BE WEATHERPROOF.
  - ALL LIGHT FIXTURES ARE TO BE SELECTED BY OWNER, SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR.
  - ELECTRICAL CONTRACTOR SHALL COORDINATE METER, METER CENTERS, AND SWITCHGEAR LOCATIONS WITH LOCAL UTILITY COMPANY.
  - ALL LIGHTING AND RECEPTABLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES.
  - ROMEX MAY BE SUBSTITUTED FOR WIRE AND CONDUIT SYSTEM FOR BUILDING INTERIOR ONLY.
  - PROVIDE THE HANDLE FOR DISPOSAL AND DISHWASHER CIRCUIT BREAKERS (ONLY IF ONE RECEPTACLE SUPPLIES BOTH).
  - ALL SWITCHGEAR AND PANELS SHALL BE RATED FOR 75 DEGREES.
  - ELECTRICAL CONTRACTOR SHALL VERIFY ALL HVAC EQUIPMENT LOADS PRIOR TO THE ORDERING OF ANY SWITCHGEAR AND PANELS AND COORDINATE WITH G.C.
  - ALL SMOKE DETECTORS SHALL BE HARDWIRED TO THE NEAREST BATHROOM OR KITCHEN LIGHTING CIRCUIT (NO G.F.I. CIRCUIT) WITH BATTERY BACK-UP, INTERCONNECTED, AND INTEGRAL WITH ALARM SYSTEM.
  - ALL DISCONNECT SWITCHES AND PANELS SHALL BE INSTALLED IN ACCORDANCE WITH NEC 110-16.
  - INSTALLATION HEIGHTS ABV. FINISH FLOOR TO CENTERLINE U.O.N.:  
WALL MOUNT TELEPHONE 58" A.F.F.  
TELEPHONE JACKS 12" A.F.F.  
LIGHT SWITCHES 48" A.F.F.  
RECEPTABLES 12" A.F.F.  
TELEVISION JACKS 12" A.F.F.
  - RECEPTACLE AND/OR JUNCTION BOXES SHALL NOT BE PLACED IN A BACK TO BACK CONFIGURATION.
  - ALL FLOOR MOUNTED RECEPTABLES, TELEPHONE JACKS, ETC. SHALL BE VERIFIED AND COORDINATED w/ OWNER PRIOR TO INSTALLATION.
  - ALL WIRING TO A/C EQUIPMENT TO BE COPPER.
  - ALL 120V, 1-15 AND 20 AMP BRANCH CIRCUITS FOR OUTLETS OR DEVICES INSTALLED IN KITCHEN, FAMILY RM, DINING RM, LIVING RM, PARLORS, LIBRARIES, DEN, BEDROOMS, BATHROOMS, SUN ROOMS, RECREATION RMs, CLOSETS, HALLWAYS, LAUNDRY RMs OR SIMILAR AREA SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) AS DESCRIBED IN NEC 210.10(A)-6.

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BENTLEY BUILDING  
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**DATES & REVISIONS**

NO.	DATE	DESCRIPTION
1	12.31.23	PROJECT
2	02.23.23	PRELIMINARY 2
3	03.23.23	PRELIMINARY 3
4	12.23.23	DWING

**REGISTERED STATES:**  
OHIO  
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INDIANA  
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NORTH CAROLINA  
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TRAVIS P. MAYER, LICENSE #12054  
EXPRES 12.31.23

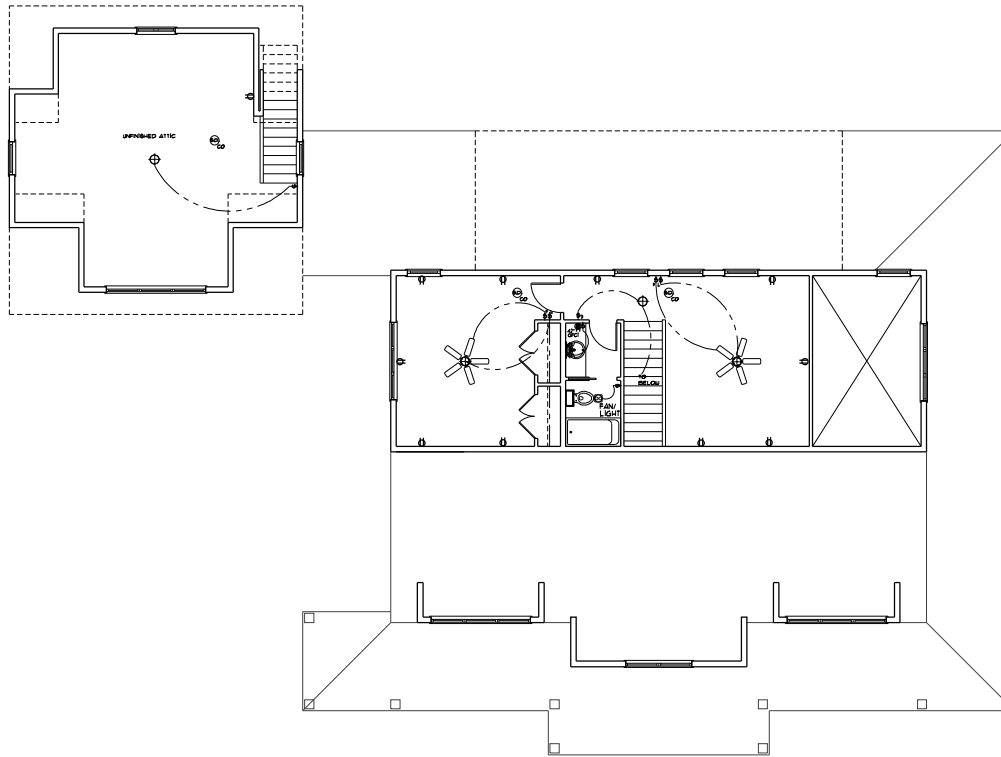
**ELLEN AND GREG QUINN**  
 KNISEL ROAD  
 VERMILION, OHIO 44089

PROJECT NO.	220461
DRAWN BY	
CHECKED BY	TRP

SHEET NO.  
**E-1**



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ELECTRICAL SYMBOLS	
	20 AMP 30 VOLT NEMA 9-20R GROUNDING TYPE DUPLEX RECEPTACLE WITH SELF-CONTAINED GROUND FAULT INTERRUPTER PROVISIONS. 1/4" IN TO CENTER UNLESS OTHERWISE NOTED. DEDICATED 240 VOLT RECEPTACLE SIZE BREAKER AND WIRE ACCORDINGLY.
	WEATHER-PROOF OUTLET w/ GFI.
	ISOLATED GROUND DUPLEX RECEPTACLE OUTLET
	EXISTING OUTLET TO BE REMOVED 1 WIRE CARRIED.
	20 AMP 30 VOLT NEMA 9-20R GROUNDING TYPE DUPLEX RECEPTACLE WITH SELF-CONTAINED GROUND FAULT INTERRUPTER PROVISIONS. 1/4" IN TO CENTER UNLESS OTHERWISE NOTED. DUPLEX RECEPTACLE NEMA 9-20R 18" AFFX 30 CENTER OF BOX UNLESS NOTED OTHERWISE.
	4-PLEX 20 AMP 30 VOLT 3 POLE 3 WIRE RECEPTACLE MOUNTED IN COPPER BOX WITH COPPER 2 GANG PLATE.
	JUNCTION BOX FOR SIGNAGE SIZE ACCORDINGLY.
	JUNCTION BOX SIZE ACCORDINGLY.
	LINE VOLTAGE THERMOSTAT
	BRANCH CIRCUIT PANELBOARD
	DISCONNECT SWITCH 30 INDICATES AFFRICITY 3 INDICATES 3 POLE, 3R INDICATES NEMA 3R ENCLOSURE, N INDICATES NON-FUSED
	1/4" x 1/2" O.D. COPPER CLAD GROUND ROD MADE ELECTRODE ATTACHED TO STRUCTURE BY 1/2" COPPER GND. ELECTRODE CONDUCTOR UNLESS NOTED OTHERWISE.
	NOTES TO PANELBOARD 3/4" MINIMUM LETTER INDICATED PANEL, NUMBERS INDICATE CIRCUITS, (TS) INDICATES CIRCUIT CONTINUATION.
	BRANCH CIRCUIT CONDUIT 1/2" MINIMUM CONCEALED BELOW SLAB IN G.L.O. OR WALLS. 3/4" MINIMUM CONCEALED NO. OF CONDUCTORS TO ABS. UNLESS NOTED OTHERWISE.
	TV JACK AND/OR ETHERNET JACK 3/4" TO ABOVE CEILING FOR DATA
	PHONE JACK 3/4" TO ABOVE CEILING FOR PHONE
	GROUND
	MOUNTING HEIGHT (FROM FINISH FLOOR)
	TYPICAL
	WEATHER-PROOF
	ABOVE FINISHED FLOOR
	CONDUIT
	EXISTING
	20 AMP 120/277 VOLT SINGLE POLE TOGGLE SWITCH FAN ALL LITE R-RECEPT
	20 AMP 120/277 VOLT THREE WAY TOGGLE SWITCH FAN ALL LITE R-RECEPT
	20 AMP 120/277 VOLT SINGLE POLE DIPPER SWITCH



**SECOND FLOOR ELECTRICAL**  
SCALE: 3/16"=1'-0"

- ### ELECTRICAL NOTES
- ALL EXTERIOR RECEPTACLES SHALL BE WEATHER-PROOF AND G.F.I.
  - ALL BATHROOM, GARAGE, AND ANY RECEPTACLE WITHIN (6) FEET OF ANY SINK SHALL BE G.F.I. TYPE.
  - ALL EXTERIOR DISCONNECT SWITCHES SHALL BE WEATHER-PROOF.
  - ALL LIGHT FIXTURES ARE TO BE SELECTED BY OWNER, SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR.
  - ELECTRICAL CONTRACTOR SHALL COORDINATE METER, METER CENTERS, AND SWITCHGEAR LOCATIONS WITH LOCAL UTILITY COMPANY.
  - ALL LIGHTING AND RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES.
  - ROMEX MAY BE SUBSTITUTED FOR WIRE AND CONDUIT SYSTEM FOR BUILDING INTERIOR ONLY.
  - PROVIDE THE HANDLE FOR DISPOSAL AND DISHWASHER CIRCUIT BREAKERS (ONLY IF ONE RECEPTACLE SUPPLIES BOTH).
  - ALL SWITCHGEAR AND PANELS SHALL BE RATED FOR 75 DEGREES.
  - ELECTRICAL CONTRACTOR SHALL VERIFY ALL HVAC EQUIPMENT LOADS PRIOR TO THE ORDERING OF ANY SWITCHGEAR AND PANELS AND COORDINATE WITH G.C.
  - ALL SMOKE DETECTORS SHALL BE HARDWIRED TO THE NEAREST BATHROOM OR KITCHEN LIGHTING CIRCUIT (NO G.F.I. CIRCUIT) WITH BATTERY BACK-UP, INTERCONNECTED, AND INTEGRAL WITH ALARM SYSTEM.
  - ALL DISCONNECT SWITCHES AND PANELS SHALL BE INSTALLED IN ACCORDANCE WITH NEC 110-16.
  - INSTALLATION HEIGHTS ABV. FINISH FLOOR TO CENTERLINE U.O.N.:  
WALL MOUNTED TELEPHONE 58" A.F.F.  
TELEPHONE JACKS 12" A.F.F.  
LIGHT SWITCHES 48" A.F.F.  
RECEPTACLES 12" A.F.F.  
TELEVISION JACKS 12" A.F.F.
  - RECEPTACLE AND/OR JUNCTION BOXES SHALL NOT BE PLACED IN A BACK TO BACK CONFIGURATION.
  - ALL FLOOR MOUNTED RECEPTACLES, TELEPHONE JACKS, ETC. SHALL BE VERIFIED AND COORDINATED W/ OWNER PRIOR TO INSTALLATION.
  - ALL WIRING TO A/C EQUIPMENT TO BE COPPER.
  - ALL 120V, 1-15 AND 20 AMP BRANCH CIRCUITS FOR OUTLETS OR DEVICES INSTALLED IN KITCHEN, FAMILY RM, DINING RM, LIVING RM, PARLORS, LIBRARIES, DEN, BEDROOMS, BATHROOMS, SUN ROOMS, RECREATION RMs, CLOSETS, HALLWAYS, LAUNDRY RMs OR SIMILAR AREA SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) AS DESCRIBED IN NEC 210.12(A)(1).

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**DATES & REVISIONS**

NO.	DATE	DESCRIPTION
1	02.21.23	PRELIMINARY 1
2	03.23.23	PRELIMINARY 2
3	07.21.23	ISSUING

REGISTERED STATES:  
OHIO  
PENNSYLVANIA  
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TRAVIS P. MAYER, LICENSE #12054  
EXPIRES 12.31.23

SECOND FLOOR ELECTRICAL PLAN  
**NEW RESIDENCE FOR ELLEN AND GREG QUINN**  
KNEISEL ROAD  
VERMILION, OHIO 44089

PROJECT NO.	230441
DRAWN BY	TRP
CHECKED BY	TRP

SHEET  
**E-2**